



2.1.1 Coverings

SPLITTING

 Recommendation

The asphalt composition shingle roof had torn or split shingles which could lead to moisture intrusion. Recommend a qualified roofing contractor repair.



Cracked shingles



Shingle worn through. Granules and asphalt layer of shingle worn away exposing the fiberglass layer

2.1.2 Coverings

UNDER-DRIVEN NAILS

 Recommendation

Observed one or more under-driven nails/fasteners. Recommend a qualified roofing contractor evaluate and repair.



Under driven nails on the ridge

2.1.3 Coverings

GRANULAR LOSS ON SHINGLES

 Recommendation

Roof has granular loss on asphalt shingles revealing fiberglass layer along edges of the shingles. A shingle along the backside of the home has worn down to the fiberglass layer. Recommend a qualified roofing contractor to evaluate.

Recommendation

Contact a qualified roofing professional.



Complete loss of granules revealing fiberglass layer



Fiberglass visible along edges of the shingles



Granular loss along edges of shingles exposing fiberglass layer

2.2.1 Roof Drainage Systems

DEBRIS

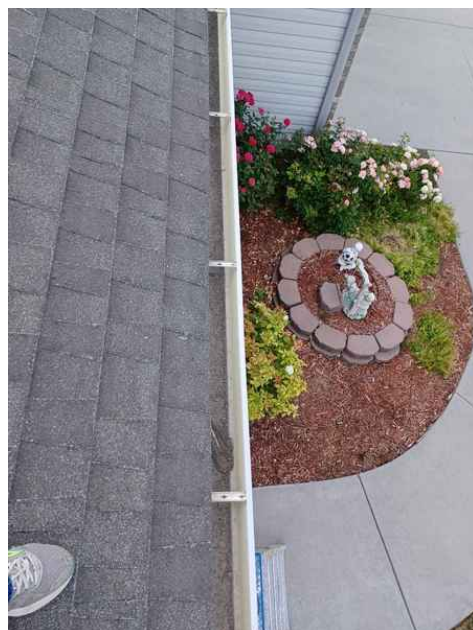
 Recommendation

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.



Dirt and debris accumulation in gutter



Accumulated dirt and debris in gutter

ROOF PIPE WEATHER BOOT CRACKED OR DAMAGED

 Recommendation

A cracked or damaged weather boot can allow moisture from snow or rain into the structure. Recommend a qualified roofing contractor to evaluate and replace.

Recommendation

Contact a qualified roofing professional.



Damaged weather boot



Damaged weather boot



Cracked weather boot

EXPOSED NAIL HEADS

 Recommendation

Many of the roof vents and pipes had exposed nails in the flashing. Exposed nail heads that penetrate the roof will leak in time and should always be sealed with roofing tar or caulk. Recommend a qualified roofing contractor to evaluate and repair.

Recommendation

Contact a qualified roofing professional.



Exposed nail heads in flashing



Exposed nail head in flashing



Exposed nail heads in flashing



Exposed nail heads in flashing



Exposed nail heads in flashing



Exposed nail heads in flashing

3.1.1 Siding, Flashing & Trim

CRACKING - MINOR

 Recommendation

Siding has a crack at the front of the house near the front door. Recommend monitoring.



Siding crack near the front door

3.1.2 Siding, Flashing & Trim

WARPING/BUCKLING

 Recommendation

Vinyl siding was warping where the siding faces the front of the west roof above the front bedroom. The siding trim was also separated. This is often as a result of nailing siding boards too tight to the home, preventing expansion/contraction. Recommend a qualified siding contractor evaluate and repair.



Warped siding and trim piece. Trim piece has separated.



Warped siding and separated trim piece

3.2.1 Exterior Doors **DOOR SILL/TRIM**

 Recommendation

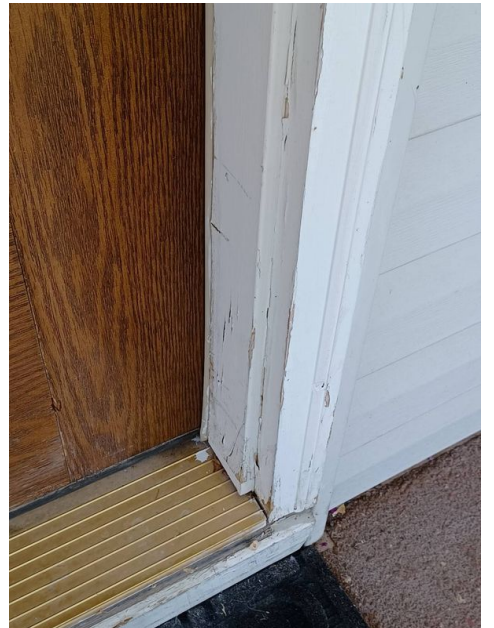
Door sill and/or trim on front door and door from garage to backyard is deteriorated or worn and repair or replacement should be considered.



Front door damage at the bottom



Front door trim damage



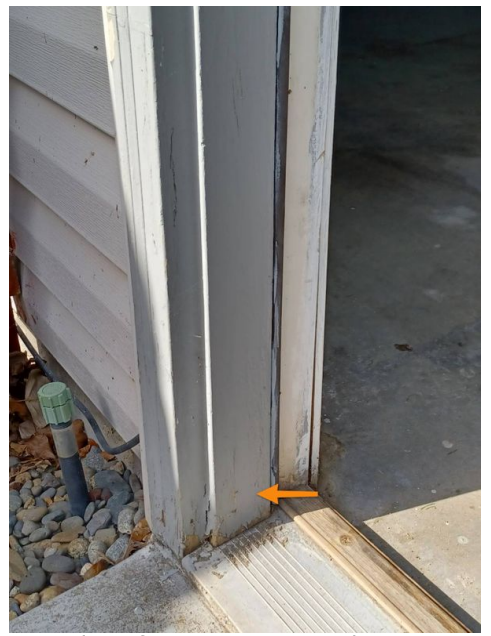
Front door room damage



Front door trim damage



Man-door from garage trim damage



Man-door from garage trim damage

3.3.1 Walkways, Patios & Driveways **DRIVEWAY CRACKING - MINOR**

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

 Recommendation



Cracks on the driveway

3.5.1 Eaves, Soffits & Fascia **GAP**

 Maintenance Item

There is a gap in the fascia / soffit where the fascia trim has come loose and fallen. This can allow water intrusion and rodent infestation as well as deterioration of the surrounding material.



Fascia has slipped down



Fascia has slipped down

4.1.1 Foundation

FOUNDATION CRACKS - MINOR

 Recommendation

Minor cracking was noted at the foundation. This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.

[Here is an informational article](#) on foundation cracks.



Small crack at west side of home's foundation



Small crack at west side of foundation wall

4.1.2 Foundation

FOUNDATION STRUCTURE UNSUPPORTED

 Safety Hazard

Foundation has been dug out where water main enters under the house. The concrete foundation has a section where approximately 3 feet are unsupported. Recommend evaluation by a qualified contractor or engineer for evaluation.

Recommendation

Contact a qualified professional.



Approximately 3 feet of the concrete foundation has been dug out and left unsupported

4.2.1 Basements & Crawlspaces

EFFLORESCENCE

CRAWLSPACE

Efflorescence noted on the crawlspace surface. This is a white, powdery deposit that is consistent with moisture intrusion. This can compromise the soil's ability to support the home structure and/or lead to mold growth. Recommend a qualified contractor identify source or moisture and correct.

 Recommendation



Efflorescence at small crack in the concrete foundation



Efflorescence at small crack in the concrete foundation

4.2.2 Basements & Crawlspaces

DEBRIS/TRASH/VEGETATION IN CRAWLSPACE

Trash, construction debris and dead vegetation are present in the crawlspace. Recommend removal as these items can attract pests.

 Recommendation

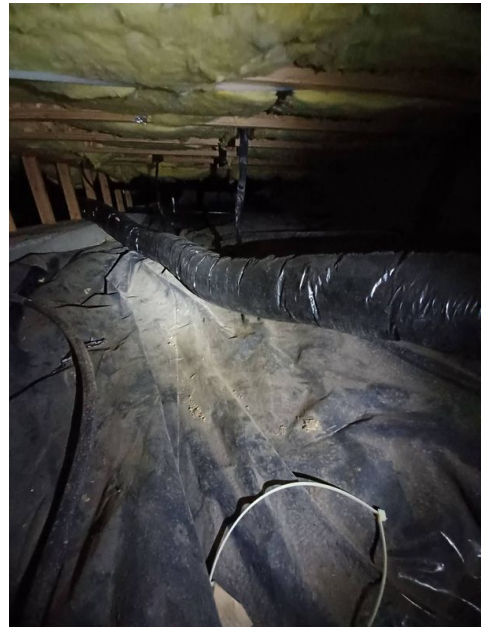
Recommendation
Contact a qualified professional.



Dead vegetation and trash



Trash

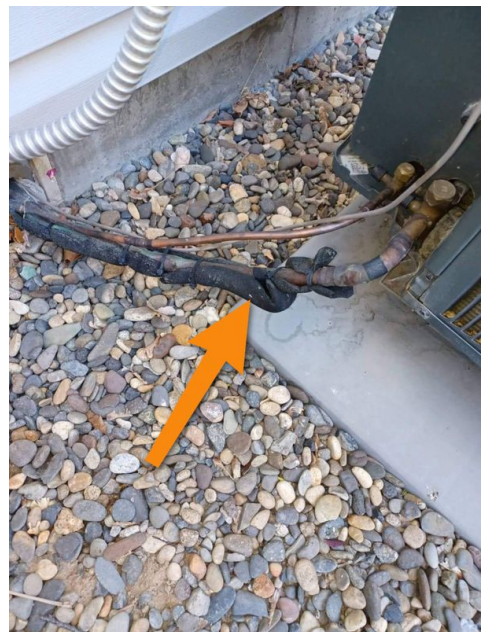


5.1.1 Cooling Equipment

INSULATION MISSING OR DAMAGED

 Recommendation

Missing or damaged insulation on refrigerant line can cause energy loss and condensation.



Incomplete insulation on refrigerant lines

5.3.1 Distribution System

DUCTS PARTIALLY UNINSULATED

 Recommendation

Parts of the ductwork are uninsulated, resulting in energy loss. Recommend licensed HVAC contractor insulate.



6.3.1 Distribution Systems

DUCT DAMAGED

CRAWLSPACE

Air supply duct was damaged. Air supply duct not strapped. Recommend a qualified HVAC contractor repair.

 Recommendation



7.3.1 Water Supply, Distribution Systems & Fixtures

WATER SUPPLY VALVE NOT FUNCTIONAL

Water supply valve supplying the master bathroom toilet would not turn off. Other valves in the home were difficult to function.

Recommendation
Contact a qualified professional.

 Recommendation

9.1.1 Attic Insulation

INSUFFICIENT INSULATION

 Recommendation

There are areas in the attic where insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation.

Recommendation

Contact a qualified insulation contractor.



Insulation has settled or been moved in areas of the attic.

9.2.1 Vapor Retarders (Crawlspace or Basement)

IMPROPER INSTALLATION

 Recommendation

Vapor barrier is improperly installed. The vapor barrier is not fastened which has resulted in portions of the dirt in the crawlspace to be exposed. This can result in unwanted moisture. Recommend insulation contractor evaluate.



Exposed dirt



Vapor retarder pulled back exposing dirt

10.2.1 Range/Oven/Cooktop

RANGE NOT FASTENED

 Safety Hazard

Range was not fastened to the floor. This poses a safety hazard to children. Recommend a qualified contractor secure range so it can't tip.

SELF CLOSING DEVICE NOT PRESENT

Door from laundry room to garage does not have a self-closing device.

Recommendation

Contact a qualified door repair/installation contractor.

11.2.1 Windows

FAILED SEAL

Recommendation

MASTER BATHROOM, BATHROOM 2, BACK BEDROOM, KITCHEN, MASTER BATHROOM

Observed small amount of condensation between the window panes in the master bathroom, master bedroom, bathroom 2, back bedroom, and kitchen which indicates a failed seal. Recommend qualified window contractor evaluate & replace.



bathroom 2 window

11.3.1 Floors

TILE DAMAGE

Recommendation

MASTER BATHROOM, KITCHEN

Observed hairline crack at entry to master bathroom along with some chipping of tile near vanity cabinet. Chip at refrigerator space.

Recommendation

Contact a qualified professional.



Entry to master bathroom crack in the tile

chips in the tile in the master bathroom

Chip in the tile in the refrigerator area

11.4.1 Walls

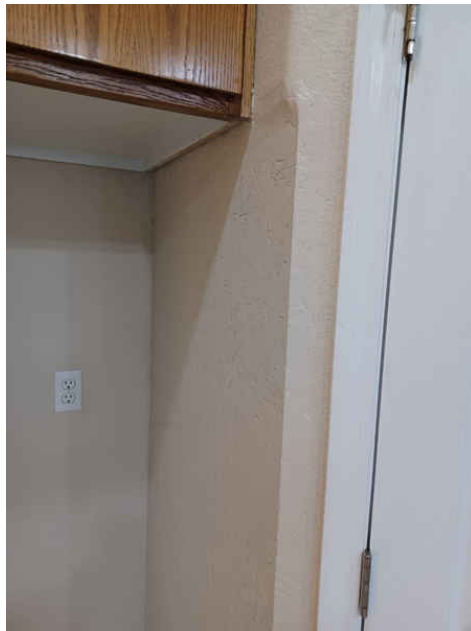
OSB WALL COVERING

Recommendation

Drywall has been removed at right side of refrigerator space and painted OSB board installed.



Drywall removed and OSB installed



Drywall removed and OSB installed

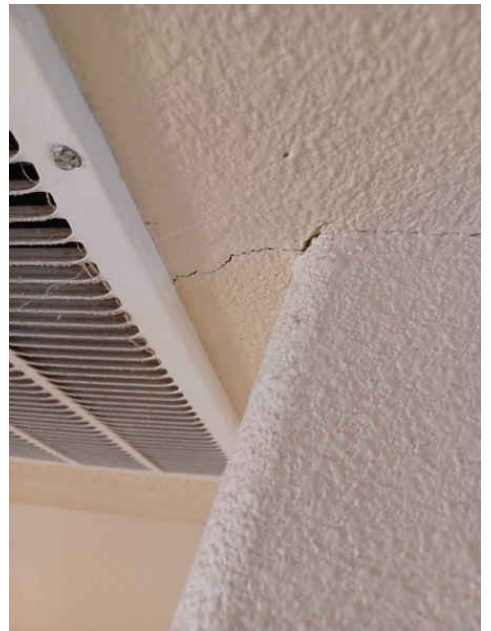
11.5.1 Ceilings

MINOR DAMAGE

LIVING ROOM

Minor damage to the ceiling was visible at the time of the inspection. Crack on the ceiling at the forced air return.

 Recommendation



Crack in the drywall at the forced air return

11.7.1 Countertops & Cabinets

CABINETS DAMAGED

BATHROOM 2

Cabinets had visible damage at time of inspection.

 Recommendation

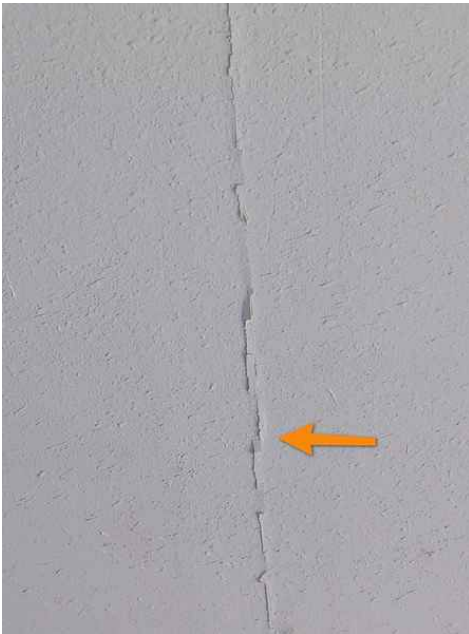


12.1.1 Ceiling

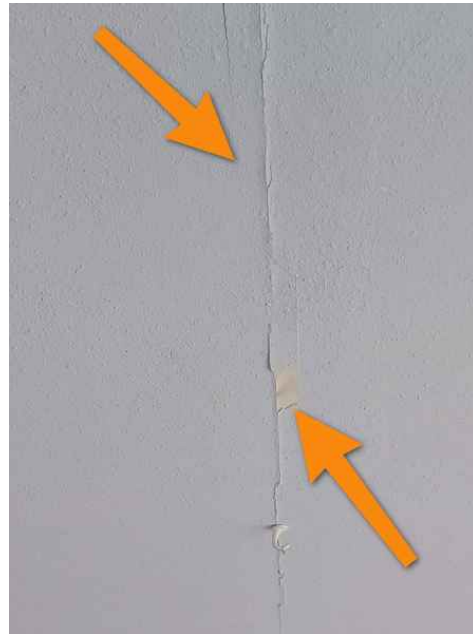
DAMAGED

 Recommendation

Drywall tape along a joint in the ceiling of the garage is separating from the drywall. Recommend qualified contractor evaluate and repair.



Drywall tape separating from drywall joint in ceiling



Drywall tape separating from drywall at drywall joint in ceiling

12.1.2 Ceiling

GARAGE CEILING PENETRATIONS CAULKING DAMAGED OR NOT PRESENT

 Recommendation

There are 3 ceiling penetrations that pass through into the attic. The two pipes that originate from the furnace unit have caulking that is cracked and the exhaust pipe from the water heater did not have caulking.

Recommendation
Contact a qualified professional.



Cracked and missing caulking



Cracked caulking

12.6.1 Occupant Door (From garage to inside of home)

NOT SELF-CLOSING

 Safety Hazard

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)